

section
five

Commercial and Institutional Rehabilitation Guidelines

Following are rehabilitation guidelines specific to the commercial and institutional properties of downtown Milledgeville. These guidelines provide guidance to property owners in making sound decisions when planning and implementing rehabilitation projects as well as offer technical information regarding historic materials and appropriate rehabilitation methods.

Any property owner or occupant wishing to make an exterior alteration to any building, structure, or site within the Milledgeville Local Historic District must make an application to the Commission for a Certificate of Appropriateness (COA). Demolition, relocation, and new construction in the district also require a COA. The Commission reviews each request as a unique case and bases its decision on the design guidelines and the circumstances surrounding the property such as its condition, age, and significance. Properties that do not currently meet the design guidelines will be required to conform to the guidelines when changes, replacements, repairs, or new construction occurs.



The first part of this section lists the guidelines in numerical order for quick review. The second part of the section provides additional information and photos for interpreting the guidelines.

Commercial and Institutional Design Guidelines In Numerical Order

5.1 Storefronts

- 5.1.1 Retain original elements (i.e. windows, doors, siding, etc.) when rehabilitating an intact storefront.
- 5.1.2 Adding storefront features not appropriate to the architectural style of the building is prohibited.
- 5.1.3 If replacement or reconstruction of entrance area doors, windows, and details are required, the replacement features should be compatible in size, scale, materials, and arrangement to the original.
- 5.1.4 Transoms should be preserved and remain visible. Air conditioners and signs located in this space are not appropriate.
- 5.1.5 Display windows should be transparent single-pane glass. Multi-pane windows and reflective glass are not appropriate to the historic character of the district.
- 5.1.6 Historic changes to storefronts that have become significant over time should be preserved.
- 5.1.7 The addition of windows and/or doors on the front facade of a building is strongly discouraged.
- 5.1.8 Reconstruction of a partially or completely removed storefront should be based on historical, pictorial, or physical documentation.
- 5.1.9 New storefront designs should have elements compatible with the size, scale, materials, and arrangement of similar historic storefronts in the historic district.
- 5.1.10 A storefront which has entirely lost its significant historic features and can't be documented or that is less than 50 years old should have a new storefront design that is a product of its time and does not attempt to be a reproduction of a historic architectural style. The new storefront should follow the guidelines for new construction in this section.

5.2 Entrances

- 5.2.1 Retain original doors and their arrangement when rehabilitating a building's intact facade.
- 5.2.2 Original entrances should not be covered or filled in.
- 5.2.3 If replacement or reconstruction of entrance area doors, windows, and details are required, the replacement feature should be compatible in size, scale, materials, and arrangement to the original.
- 5.2.4 Adding new entrances on the front facade or entrance details not appropriate to the architectural style of the building is prohibited.

5.3 Upper Floors

- 5.3.1 Upper floors should not be covered with siding materials that obscure the facade's character-defining elements and their arrangement.

- 5.3.2 Removal of nonhistoric siding materials covering original or historic upper facades is encouraged.
 - 5.3.3 Upper floor windows should not be filled-in.
 - 5.3.4 Upper floor windows should be repaired rather than replaced. The addition of caulk and interior storm windows for energy efficiency is encouraged.
 - 5.3.5 Windowpane configurations and window size should match the original when replacement becomes necessary. Only true muntins and mullions should be used in replacement windows. Snap-in grid systems are not appropriate in the historic district. Vinyl-clad and aluminum-clad windows will be reviewed on a case-by-case basis.
 - 5.3.6 The addition of windows and/or doors on the front facade of a building is strongly discouraged.
 - 5.3.7 Shutters should not be added to buildings that never had them. When historical documentation for shutters exists, designs should be appropriate to the period and style of architecture.
 - 5.3.8 When historical documentation for shutters exists, new shutters should be appropriate to the period and style of the building's architecture in terms of material and design.
 - 5.3.9 Balconies should not be added to the front facade of a building unless there is documentation of a historic balcony. The new balcony should replicate the historic balcony in design. In cases where historic balcony design is unknown, the new balcony should be compatible with the style and period of the building.
 - 5.3.10 Signs on the upper stories of a building should not cover or detract from the architectural details of the building.
- 5.4 Architectural Details**
- 5.4.1 Retain original architectural details (i.e. clocks, cornices, etc.) and keep them well maintained.
 - 5.4.2 Repair rather than replace damaged architectural elements whenever possible.
 - 5.4.3 Application of architectural details inappropriate for the period or style of the building is strongly discouraged.
 - 5.4.4 All replacement features should be of *compatible* design in scale, size, and material to the original and documented by historical evidence. The use of new materials must meet similar performance expectations as those of the original historic material.
- 5.5 Exterior Materials**
- 5.5.1 Preserve original exterior materials to the greatest extent possible; work on these materials should be done with care.
 - 5.5.2 If replacement of historic materials is necessary, the new materials should match the old in design, color, texture, and other visual qualities. Materials should be replaced in kind whenever possible.
 - 5.5.3 In the instance where deteriorated historic material must be replaced, four considerations warrant the consideration of substitute materials a) the unavailability of historic materials;

- b) the unavailability of skilled craftsmen; c) inherent flaws in the original material; and d) code-required changes.
- 5.5.4 When the replacement of historic materials is warranted under 5.5.3, the substitute material should meet the following three basic criteria: a) it must be compatible with the historic materials in appearance; b) its physical properties must be similar to the historic material, or be installed in a manner that tolerates difference; and c) it must meet certain similar performance as the historic material.
- 5.5.5 Avoid cleaning methods that damage original materials, such as sandblasting or harsh chemical treatments. Pressure washing with water should not exceed 1000 psi. Tests should be conducted before using any cleaning methods on historic materials.
- 5.5.6 The application of exterior insulating finishing systems (i.e. stucco) to historic materials is strongly discouraged.
- 5.5.7 Brick (and other masonry materials) that has never been painted should remain unpainted.
- 5.5.8 When repair or replacement of new mortar is needed, the new mortar should duplicate the old in strength, composition, color, texture, and mortar joint width. A high content of Portland cement should not be used in repointing historic masonry joints.
- 5.6 Signs**
- 5.6.1 All signs must comply with Milledgeville's Downtown Storefront & Business Standards located in the appendix of this document.
- 5.6.2 Retain historic signs whenever possible, particularly when they have a historic association for the community or are significant for their design.
- 5.6.3 New signs should respect the size, scale, and design of the historic building.
- 5.6.4 New signs should be attached to a building to avoid damage to historic materials. Fittings should penetrate mortar joints rather than masonry.
- 5.6.5 Signs can be in the form of paint on window glass or exterior walls, attached signs in the signboard area, or hanging signs.
- 5.7 Awnings**
- 5.7.1 Awnings placed over display windows are encouraged and often are suitable locations for signs.
- 5.7.2 Historic awnings that lend character to a building should be retained and repaired whenever possible.
- 5.7.3 Canvas awnings are recommended. Metal and wood shingle awnings are strongly discouraged.
- 5.7.4 Awning shapes should match the window and door shapes they are covering.
- 5.8 Rear Entrances and Side Facades**
- 5.8.1 Retain historic entrances on the rear and side facades of a building.
- 5.8.2 Guidelines for Upper Floors (5.3) in this section are also appropriate for rear and side facades.

- 5.8.3 Door and window openings should not be filled-in.
- 5.8.4 New entrances on rear and side facades should be compatible with the building's architectural style, details, and materials.
- 5.8.5 The addition of decks on the rear and side facades is permitted and must comply with other appropriate local ordinances and codes. Decks should be compatible with the building's size, scale, and design and be constructed of materials that are compatible with the historic fabric of the building. Decks should be installed in such a manner that they can be removed without harming the original historic material. Decks should not have a roof or side wall. The historic features of the building should remain visible.
- 5.8.6 The addition of upper floor balconies on the rear facade is allowed and must comply with all other appropriate local ordinances and codes. Balconies should be compatible with the building's size, scale, and design and be constructed of materials that are compatible with the historic fabric of the building. Balconies should be installed in such a manner that they can be removed without harming the original historic material. Balconies should not have a roof or side wall. The historic features of the building should remain visible.
- 5.8.7 The use of unpainted pressure treated lumber or composite materials for decks and balconies is not appropriate to the character of the historic district.

5.9 Roofs

- 5.9.1 Preserve a building's original roof shape.
- 5.9.2 Roof additions that would be visible from the right-of-way are discouraged. If an addition is necessary, it should be placed away from a building's prominent facades so as to have a minimal visual impact.
- 5.9.3 Historic roofing materials visible from the public right-of-way should be repaired rather than replaced.
- 5.9.4 If replacement of roofing materials is necessary, new materials should match as closely as possible the scale, texture, and color of the historic roofing materials.
- 5.9.5 Historic gutters and downspouts should be retained.
- 5.9.6 If gutters and downspouts are deteriorated and need to be replaced, new gutters and downspouts should be similar to the original in material and appearance.
- 5.9.7 Buildings that have never had gutters and downspouts should add them in such a manner as to be unobtrusive. New and innovative gutter systems are encouraged.

5.10 Mechanical Systems

- 5.10.1 Air conditioners and similar mechanical equipment should be placed so as not to detract from the historical integrity of a building.
- 5.10.2 The front facade of a building should not be disrupted by the addition of mechanical systems such as air conditioner units.
- 5.10.3 Air conditioner units should be placed on the roof or rear or side facades of a building.

- 5.10.4 Room air conditioners may be placed in windows on side and rear facades. They should be installed in such a way as to avoid damage to historic material.

5.11 Additions to Commercial Buildings

- 5.11.1 Historic additions and alterations that have acquired significance in their own right, particularly storefront additions, should be preserved.
- 5.11.2 New additions should be placed at the rear of the building and should be compatible in material, design, and scale with the existing structure.
- 5.11.3 The design of the new addition should be clearly differentiated so that the addition is not mistaken for part of the original building.
- 5.11.4 A new addition should be built in such a manner that if it were removed it would not damage the original historic materials or character-defining elements.

5.12 Handicap Accessibility Issues

- 5.12.1 Ramps/lifts should meet the standards of the Americans with Disabilities Act *Standards for Accessible Design*. In addition, they should be built of materials that are compatible with the historic material of the building.
- 5.12.2 Ramps/lifts on the front facade of the building should be compatible with the symmetry, scale, and architectural style of the building. Every effort should be made to avoid the removal of historic material and/or significant character-defining features.
- 5.12.3 Ramps/lifts on the rear and side facades of the building may be less compatible with the architectural style, symmetry, and scale of the building, but should avoid blocking existing windows and doors.
- 5.12.4 The enlargement of door openings on the front facade is discouraged.
- 5.12.5 The use of appropriate door hardware, such as lever handles, is encouraged. Historic hardware should be preserved in storage.
- 5.12.6 The installation of handicapped access facilities should be done in a manner that, when removed, will not damage or destroy historic fabric.
- 5.12.7 Ramps can be faced with a variety of materials, including wood, brick, and stone. Unpainted pressure-treated wood or composite materials should not be used to construct ramps because they are not visually compatible with most historic properties.

5.13 Fire Code Issues

- 5.13.1 All rehabilitation work should meet current local/state fire codes.
- 5.13.2 Where possible, locate new fire exits, stairs, landings, and decks on the rear or inconspicuous side facades.
- 5.13.3 Fire escapes that are necessary on the front facade of a building should make every effort to use low visibility escapes designed

- for historic buildings or portable escapes.
- 5.13.4 New fire doors should be as similar as possible with existing doors in proportion, location, size, and detail.
- 5.13.5 Necessary additional fire exits should be placed on the rear or side facades of the building and match historic door openings in scale and detail.

5.14 New Commercial Construction

- 5.14.1 New buildings should match the scale, directional emphasis, setback, and height of historic buildings in their area of influence.
- 5.14.2 New buildings may be constructed of new materials that are compatible with surrounding historic buildings in the commercial district. Stucco, brick, rusticated stone, and marble are appropriate exterior materials for new commercial construction.
- 5.14.3 Metal-sided buildings are not appropriate for the historic district.
- 5.14.4 The shape and pitch of a on a new building should be consistent with those buildings in the area of influence.
- 5.14.5 New buildings should conform to the floor-to-floor heights of existing structures if there is a dominant pattern within the area of influence.
- 5.14.6 New buildings should be a product of their time and not attempt to be a reproduction of historic architectural styles or details.
- 5.14.7 New buildings should echo the dominant rhythms and patterns in their neighborhood. The arrangement of windows and entrances, materials, and orientation to the street are some of the features which should be replicated.
- 5.14.8 Windows with snap-in grid systems are not appropriate in the historic district. Single pane double hung windows and plate glass windows are encouraged.

5.15 Adaptive Reuse

- 5.15.1 A commercial building in the commercial district being used for residential purposes should follow the commercial design standards.
- 5.15.2 Proposed new uses for commercial buildings should be compatible with the historic property so that minimal changes are necessary.
- 5.15.3 The arrangement and symmetry of the front facade should be preserved.

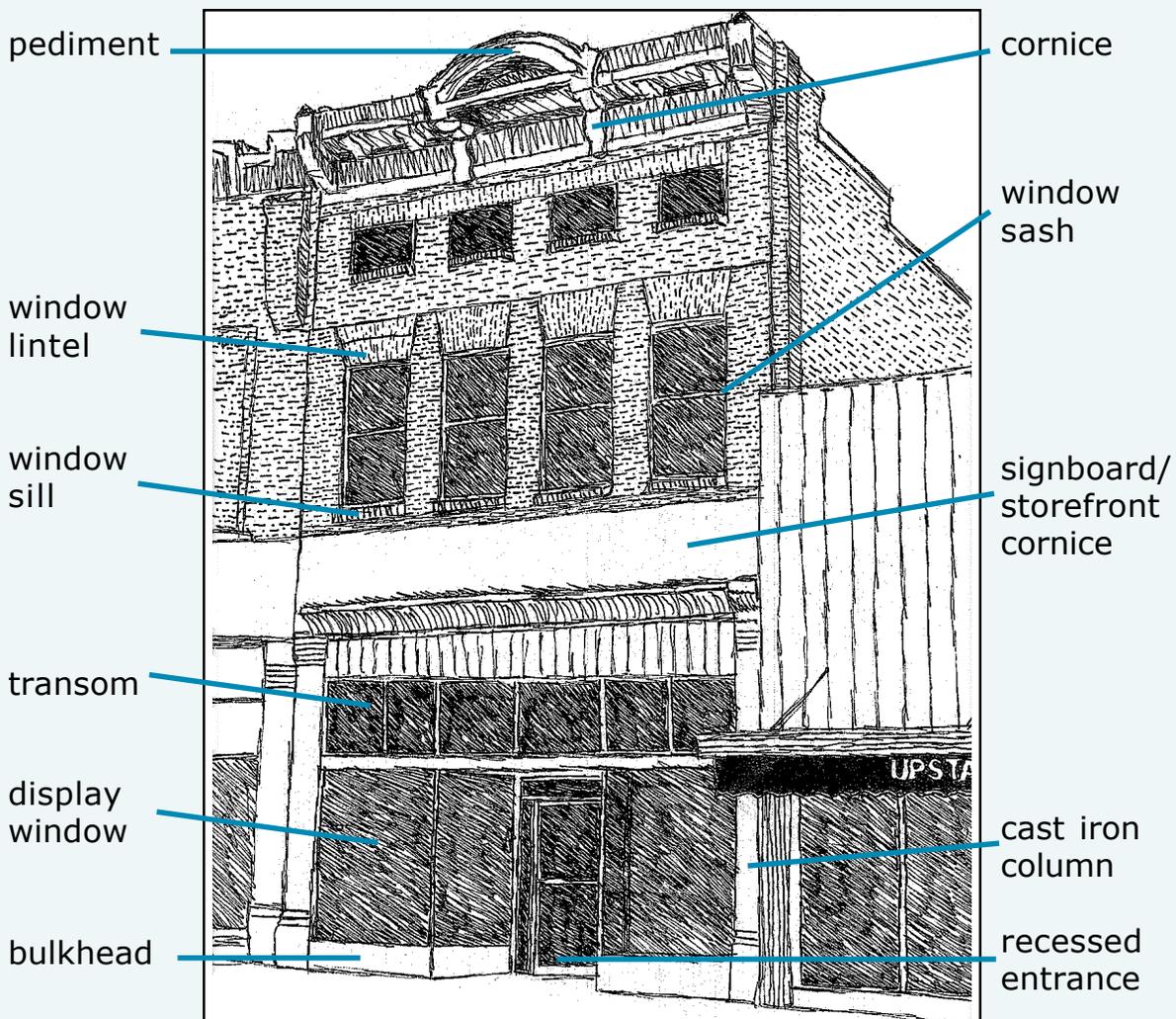
Interpreting the Commercial and Institutional Design Guidelines

5.1 Storefronts

5.1.1 Retain original elements (i.e. windows, doors, siding, etc.) when rehabilitating an intact storefront.

5.1.2 Adding storefront features not appropriate to the architectural style of the building is prohibited.

Original historic storefronts should be preserved whenever possible. The addition of fabricated or historically inaccurate detailing or design (such as stock "colonial"-style lighting or entrances) is considered inappropriate.



5.1.3 If replacement or reconstruction of entrance area doors, windows, and details are required, the replacement features should be compatible in size, scale, materials, and arrangement to the original.

5.1.4 Transoms should be preserved and remain visible. Air conditioners and signs located in this space are not appropriate.

5.1.5 Display windows should be transparent single pane glass. Multi-pane windows and reflective glass are not appropriate to the historic character of the district.



The elements and arrangement of the first-floor space identifies a building as a commercial enterprise open to the public. A storefront consists of specific elements such as large plate glass windows for merchandise display, transom windows that allow natural light into the store, and often a recessed entrance. The alteration, obstruction, or removal of these historic elements detracts from the historic commercial character of downtown Milledgeville.

This storefront retains its original transom, display windows, and recessed entrance.

5.1.6 Historic changes to storefronts that have become significant over time should be preserved.

5.1.7 The addition of windows and/or doors on the front facade of a building is strongly discouraged.



Some storefront additions and alterations that have been made over the years are of quality workmanship and illustrate the evolution of commercial design. Significant "modernized" storefront alterations such as Carrara glass panels or Art Deco styled glass block detailing are worthy of preservation.

This historic storefront alteration, above, illustrates the popular use of Carrara glass during the 1940s and 1950s and should be retained.

5.1.8 Reconstruction of a partially or completely removed storefront should be based on historical, pictorial, or physical documentation.

5.1.9 New storefront designs should have elements compatible with the size, scale, materials, and arrangement of similar historic storefronts in the historic district.

5.1.10 A storefronts which has entirely lost it's significant historic features and can't be documented or that is less than 50 years old should have a new storefront design that is a product of it's time and does not attempt to be a reproduction of a historic architectural style. The new storefront should follow the guidelines for new construction in this section.

The removal of inappropriate, nonhistoric cladding and other later additions may reveal the historic character of the storefront. If a storefront is so deteriorated that repairing isn't feasible, physical evidence should be used as a model for reconstruction of that storefront. New storefront design should only be considered when there is not enough documentation to accurately reconstruct the historic storefront. Creating a false historical appearance is not an acceptable design solution.



The removal of the nonhistoric aluminum cover has allowed for the reconstruction of this historic storefront

5.2 Entrances

5.2.1 Retain original doors and their arrangement when rehabilitating a building's intact facade.

5.2.2 Original entrances should not be covered or filled in.



Besides storefronts, commercial and institutional buildings have other entrances that provide access to the establishment within. Some entrances may contain a stairway leading to a business or living space that is not on the street level. All entrances, including storefront entrances, should remain functional and retain historic features and details (doors, surrounds, transoms, and sidelights) whenever possible.

This historic corner entrance has been preserved.

5.2.3 If replacement or reconstruction of entrance area doors, windows, and details are required, the replacement feature should be compatible in size, scale, materials, and arrangement to the original.

5.2.4 Adding entrance on the front facade or entrance features not appropriate to the architectural style of the building is prohibited.



The location of entrances should not be changed unless based on sound documentation of a historic location. Modern or Victorian looking stock entrance doors, window units, and lighting fixtures or making a commercial entrance residential in appearance is an inappropriate design solution. Adding new entrances destroys the symmetry of the facade.

This lighting fixture and entrance door of this commercial entrance are residential in appearance and are inappropriate.

5.3 Upper Floor Spaces

5.3.1 Upper floors should not be covered with siding materials that obscure the facade's character-defining elements and their arrangement.

5.3.2 Removal of nonhistoric siding materials covering original or historic upper facades is encouraged.

The removal of nonhistoric metal cladding, false mansard roofs, or other upper floor alterations may reveal intact historic architectural details or window openings that could facilitate a facade restoration or rehabilitation. Removal of nonhistoric facades that obscure architectural details is encouraged.



Removal of the aluminum facade facilitated the rehabilitation of this now contributing storefront.

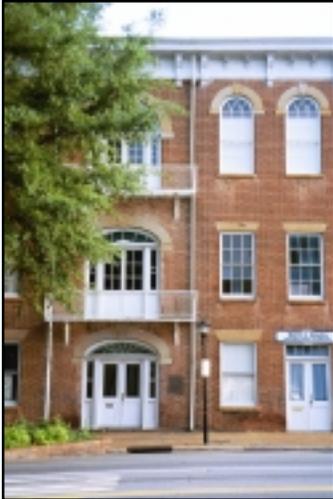
5.3.3 Upper floor windows should not be filled-in.

5.3.4 Upper floor windows should be repaired rather than replaced. The addition of caulk and interior storm windows for energy efficiency is encouraged.

5.3.5 Windowpane configurations and window size should match the original when replacement becomes necessary. Only true muntins and mullions should be used in replacement windows. Snap-in grid systems are not appropriate in the historic district. Vinyl-clad and aluminum-clad windows will be reviewed on a case-by-case basis.

5.3.6 The addition of windows and/or doors on the front facade of a building is strongly discouraged.

The traditional proportion of windows to wall space on the upper stories of commercial buildings should be respected. Windows that have been filled-in give a commercial building a "blank" appearance just as the addition of new window openings disrupts the original rhythm of the building. Nonhistoric windowpane division can give a commercial building a more residential feel that detracts from the commercial character of the downtown.



The upper facade on the Masonic Hall has been carefully preserved and maintained.



These new replacement windows do not match the known historic windowpane configuration.



Upper floor windows on this building have been replaced with plate glass, removing all evidence of historic windowpane configuration.

5.3.7 Shutters should not be added to buildings that never had them. When historical documentation for shutters exists, designs should be appropriate to the period and style of architecture.

5.3.8 When historical documentation for shutters exists, new shutters should be appropriate to the period and style of the building's architecture in terms of material and design.



Nonhistoric shutters on this commercial building are inappropriately sized.

The inappropriate use of shutters that are hung improperly, non-operable, of incorrect size or attached to buildings with no historical documentation can significantly alter the look of a building. Shutters should be sized to properly fit the window and appropriate hardware should be used to install the shutters. Industrial buildings should have industrial shutters.

5.3.9 Balconies should not be added to the front facade of a building unless there is documentation of a historic balcony. The new balcony should replicate the historic balcony in design. In cases where the historic balcony design is unknown, the new balcony should be compatible with the style and period of the building.

The conversion of upper stories of historic commercial buildings for residential use is becoming more popular. Additions and alterations for such use should respect the architectural character of the existing building. Adding a balcony where none existed historically creates a false sense of history. Nonhistoric balconies should be constructed on a side or rear facade where the visual impact will be significantly lessened.



Restoring the doors in this historic front facade would enhance the symmetry, rhythm, and authenticity of this upper level space.

5.3.10 Signs on the upper stories of a building should not cover or detract from the architectural details of the building.

Signs are one of the most frequently altered details of historic commercial buildings. They have the ability to make a positive or negative impact on the historic building as well as the district. Signs should be appropriately sized and placed in a manner that complements the historic storefront and does not obscure character-defining architectural details. See Appendix for Milledgeville Sign Guidelines.



This wood sign is appropriately placed in the signboard area of the storefront where it does not obscure architectural details.

5.4 Architectural Details

5.4.1 Retain original architectural details (i.e. clocks, cornices, etc.) and keep them well maintained.

5.4.2 Repair rather than replace damaged architectural elements whenever possible.



Architectural details are usually focused on a commercial building's primary facade. Significant details that should be retained include, but are not limited to, decorative window hoods and arches, pilasters, cornices, decorative brickwork, parapet walls, and other features that show the influence of design and architectural style.

Although some changes have been made to this entrance, the historic storefront columns have been retained.

5.4.3 Application of architectural details inappropriate for the period or style of the building is strongly discouraged.

5.4.4 All replacement features should be of *compatible* design in scale, size, and material to the original and documented by historical evidence. The use of new materials must meet similar performance expectations as those of the original historic material.



Applying details that are not grounded in historic documentation creates a false sense of history. The addition of certain types of details may provide an improper residential character for a commercial building. New materials such as fiberglass perform like traditional materials and may be a cost effective alternative to replacing damaged or missing architectural details.

Marble has been improperly added to the base of this storefront column.

5.5 Exterior Materials

Masonry is the dominant exterior material used in downtown Milledgeville. The introduction of certain inappropriate materials can greatly disrupt the predominant visual textures in the district.

5.5.1 Preserve original exterior materials to the greatest extent possible; work on these materials should be done with care.

5.5.2 If replacement of historic materials is necessary, the new materials should match the old in design, color, texture, and other visual qualities. Materials should be replaced in kind whenever possible.

Routine maintenance can prevent the costly replacement of exterior materials. When replacement is determined to be the only practical solution, only severely deteriorated elements should be replaced. Total replacement of an exterior facade is usually not necessary.

5.5.3 In the instance where deteriorated historic material must be replaced, four considerations warrant the consideration of substitute materials a) the unavailability of historic materials; b) the unavailability of skilled craftsmen; c) inherent flaws in the original material; and d) code-required changes.

5.5.4 When the replacement of historic materials is warranted under 5.5.3, the substitute material should meet the following three basic criteria: a) it must be compatible with the historic materials in appearance; b) its physical properties must be similar to the historic material, or be installed in a manner that tolerates difference; and c) it must meet certain similar performance expectations as the historic material.

The use of nonhistoric siding materials (such as metal) is discouraged within the downtown commercial portion of the historic district. Replacement siding can alter and obscure original architectural details. Every effort should be made to retain historic architectural details and remove nonhistoric facade materials. See Appendix for Milledgeville's "Evaluation Guidelines for Review of Applications For Use Of Synthetic Vinyl/Aluminum Siding On Existing Structures In The Historic District".



This upper facade and its storefront have been inappropriately covered with metal siding.

5.5.5 Avoid cleaning methods that damage original materials, such as sandblasting or harsh chemical treatments. Pressure washing with water should not exceed 1000 psi. Tests should be conducted before using any cleaning methods on historic materials.

5.5.6 The application of exterior insulating finishing systems (i.e. stucco) to historic materials is strongly discouraged.

5.5.7 Brick (and other masonry materials) that has never been painted should remain unpainted.

5.5.8 When repair or replacement of new mortar is needed, the new mortar should duplicate the old in strength, composition, color, texture, and mortar joint width. A high content of Portland cement should not be used in repointing historic masonry joints.

Unpainted masonry should remain unpainted, unless extremely damaged. When prepping any exterior surface, abrasive methods such as sandblasting and harsh chemical cleaners are not recommended as they can detrimentally alter the original material's protective surface. Harsh cleaning methods can deteriorate the protective exterior surface of brick exposing the softer inner brick to the weather. Repointing mortar joints should only be undertaken when necessary and appropriate techniques, tools, and materials should be used to avoid damage to the historic masonry and to match the existing visual character.



This historically painted brick surface should be regularly painted as part of routine maintenance for this building.

5.6 Signs

5.6.1 All signs must comply with the Milledgeville's Downtown Storefront & Business Sign Standards located in the appendix of this document.

5.6.2 Retain historic signs whenever possible, particularly when they have a historic association for the community or are significant for their design.



Signs on the exterior of a commercial building are a vital component of a business's promotion. It is important that signs be both informative to passers by as well as complimentary to the business within. See the appendix for the Downtown Storefront & Business Sign Standards.

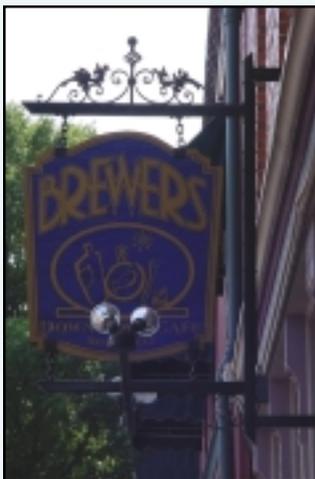
5.6.3 New signs should respect the size, scale, and design of the historic building.

5.6.4 New signs should be attached to a building to avoid damage to historic materials. Fittings should penetrate mortar joints rather than masonry.

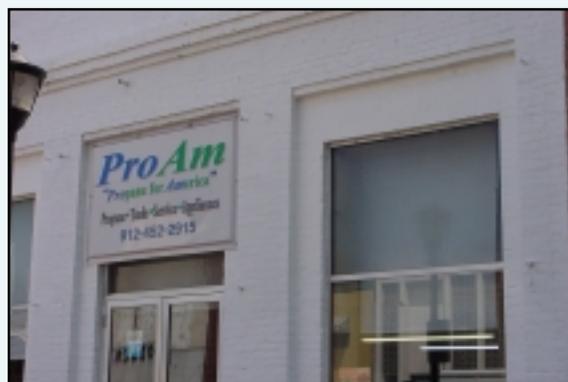
5.6.5 Signs can be in the form of paint on window glass or exterior walls, attached signs in the signboard area, or hanging signs.

This business has taken advantage of the historic signboard area for an appropriately-sized sign.

Signs that are too large overwhelm the building on which they are located and detract from the building's architectural qualities. Appropriately designed and sized signs help to make the downtown Milledgeville commercial area a unique and attractive place. Sign material should complement a building's period and style. Back-lit plastic signs are not appropriate for historic commercial buildings.



This is an appropriate example of signage in the historic district.



This signage has been placed in an inappropriate position on the building; obscuring the transom above the door.

5.7 Awnings

5.7.1 Awnings placed over display windows are encouraged and often are suitable locations for signs.

5.7.2 Historic awnings that lend character to a building should be retained and repaired whenever possible.



Awnings were historically used on commercial buildings to provide protection from the weather and sun for both the customer and the storefront. They continue to be popular today for providing visual enhancement.

This historic boxed awning is a significant component of this theatre and should be retained.

5.7.3 Canvas awnings are recommended. Metal and wood shingle awnings are strongly discouraged.

5.7.4 Awning shapes should match the window and door shapes they are covering.

The use of traditional cloth awnings is encouraged. Care should be taken so that the design of the new awning considers the color, shape, and height of surrounding awnings. Awnings requiring support posts at the curb are discouraged. Round awnings are appropriate for arched window and door openings, but discouraged for use over traditional storefront windows.



A commercial building with appropriately sized and placed awnings.



Round awnings should only be installed over arched or round window and door openings, such as the ones seen here.



This round awning does not fit the square door opening.

5.8 Rear Entrances and Side Facades

5.8.1 historic entrances on the rear and side facades of a building.

5.8.2 Guidelines for Upper Floors (5.3) in this section are also appropriate for rear and side facades.

With the majority of attention focused on the front facades of historic commercial and institutional buildings, rear entrances and side facades are often left unkempt and forgotten. Rear and side entrance access, however, should be an attractive secondary point of entry and egress.



These rear entrances are well-designed and maintained, providing attractive secondary entrances for customers and employees in keeping with the historic building's style, details, and materials

5.8.3 Door and window openings should not be filled-in.

5.8.4 New entrances on rear and side facades should be compatible with the building's architectural style, details, and materials.

5.8.5 The addition of decks on the rear and side facades is permitted and must comply with other appropriate local ordinances and codes. Decks should be compatible with the building's size, scale, and design and be constructed of materials that are compatible with the historic fabric of the building. Decks should be installed in such a manner that they can be removed without harming the original historic material. Decks should not have a roof or side wall. The historic features of the building should remain visible.



This visible side facade is maintained, but its windows have been covered.



This rear loading dock is poorly maintained.

5.8.6 The addition of upper floor balconies on the rear facade is allowed and must comply with all other appropriate local ordinances and codes. Balconies should be compatible with the building's size, scale, and design and be constructed of materials that are compatible with the historic fabric of the building. Balconies should be installed in such a manner that they can be removed without harming the original historic material. Balconies should not have a roof or side walls. The historic features of the building should remain visible.

5.8.7 The use of unpainted pressure treated lumber or composite materials for decks and balconies is not appropriate to the character of the historic district.



A well-designed new rear deck that is compatible with the historic building.



The covered area supported by pressure treated lumber is inappropriate in this rear balcony example, but is appropriate in size and scale to the historic building.

5.9 Roofs

5.9.1 Preserve a building's original roof shape.

5.9.2 Roof additions that would be visible from the right-of-way are discouraged. If an addition is necessary, it should be placed away from a building's prominent facades so as to have a minimal visual impact.



The majority of commercial buildings have flat or very slightly pitched roofs hidden by parapet walls. The introduction of other roof pitches in the downtown commercial district would not be considered appropriate.

These commercial buildings both have historic flat roofs hidden by parapet walls.

5.9.3 Historic roofing materials visible from the public right-of-way should be repaired rather than replaced.

5.9.4 If replacement of roofing materials is necessary, new materials should match as closely as possible the scale, texture, and color of the historic roofing materials.

5.9.5 Historic gutters and downspouts should be retained.

5.9.6 If gutters and downspouts are deteriorated and need to be replaced, new gutters and downspouts should be similar to the original in material and appearance.

5.9.7 Buildings that have never had gutters and downspouts should add them in such a manner as to be unobtrusive. New and innovative gutter systems are encouraged.



Adequate roof drainage is necessary to prevent water damage and deterioration of exterior building materials. Regular maintenance should be performed on gutters and downspouts. Gutters and downspouts should be placed in such a way that they do not obstruct window or door openings or architectural details.

This gutter and downspout system is in good condition.

5.10 Mechanical Systems

5.10.1 Air conditioners and similar mechanical equipment should be placed so as not to detract from the historical integrity of a building.

5.10.2 The front facade of a building should not be disrupted by the addition of mechanical systems such as air conditioner units.

5.10.3 Air conditioner units should be placed on the roof or rear or side facades of a building.



Modern mechanical systems for heating and air conditioning can easily detract from the historic character of the downtown when conspicuously placed. When placed at ground level, the system should be landscaped or fenced to shield it from being visible from the public right-of-way. When located on the roof, systems should be located far enough back from the main facades so that they are not visible from the street.

Mechanical systems that are tucked underneath rear stairs allow for easy accessibility and are generally less obtrusive.

5.10.4 Room air conditioners may be placed in windows on side and rear facades. They should be installed in such a way as to avoid damage to historic material.



In instances where window air conditioning units are used, they should be placed in windows on less visible facades so as not to detract from the overall historic character of the district. Wall units designed to be mounted into holes cut into the side of an exterior wall are not appropriate, as installation would require destroying historic masonry.

Window air conditioning units on the front facades of historic commercial buildings are strongly discouraged.

5.11 Additions to Commercial Buildings

5.11.1 Historic additions and alterations that have acquired significance in their own right, particularly storefront additions, should be preserved.

5.11.2 New additions should be placed at the rear of the building and should be compatible in material, design, and scale with the existing structure.

5.11.3 The design of the new addition should be clearly differentiated so that the addition is not mistaken for part of the original building.

5.11.4 A new addition should be built in such a manner that if it were removed it would not damage the original historic materials or character-defining elements.



New additions to historic commercial buildings are generally made to the rear of the building due to the nature of the downtown district. Under no circumstances should the new addition be of greater height than the existing building.

The modern addition to the rear of this historic building does not overwhelm the existing building.

5.12 Handicap Accessibility Issues

5.12.1 Ramps/lifts should meet the standards of the Americans with Disabilities Act *Standards for Accessible Design*. In addition, they should be built of materials that are compatible with the historic material of the building.

5.12.2 Ramps/lifts on the front facade of the building should be compatible with the symmetry, scale, and architectural style of the building. Every effort should be made to avoid the removal of historic material and/or significant character-defining features.

5.12.3 Ramps/lifts on the rear and side facades of the building may be less compatible with the architectural style, symmetry, and scale of the building, but should avoid blocking existing windows and doors.

5.12.4 The enlargement of door openings on the front facade is discouraged.

5.12.5 The use of appropriate door hardware, such as lever handles, is encouraged. Historic hardware should be preserved in storage.

5.12.6 The installation of handicapped access facilities should be done in a manner that, when removed, will not damage or destroy historic fabric.

5.12.7 Ramps can be faced with a variety of materials, including wood, brick, and stone. Unpainted pressure-treated wood or composite materials should not be used to construct ramps because they are not visually compatible with most historic properties.



Signage directing disabled persons to a less visible entrance is a suitable design solution.

Portable ramps do not meet the accessibility requirements of the ADA but may be used as a temporary measure until a better solution is found. Lifts should be located under cover to protect the user and the mechanism. Avoid ramp switchbacks that destroy the symmetry of the front facade.



The impact of the ramp on this institutional building is softened by landscaping.



This handicap access ramp located on the rear of the building was installed in a manner so that its removal would not damage the historic masonry.

5.13 Fire Code Issues

5.13.1 All rehabilitation work should meet current local/state fire codes.

5.13.2 Where possible, locate new fire exits, stairs, landings, and decks on the rear or inconspicuous side facades.

5.13.3 Fire escapes that are necessary on the front facade of a building should make every effort to use low visibility escapes designed for historic buildings or portable escapes.

5.13.4 New fire doors should be as similar as possible with existing doors in proportion, location, size, and detail.

Necessary additional fire exits should be placed on the rear or side facades of the building and match historic door openings in scale and detail.

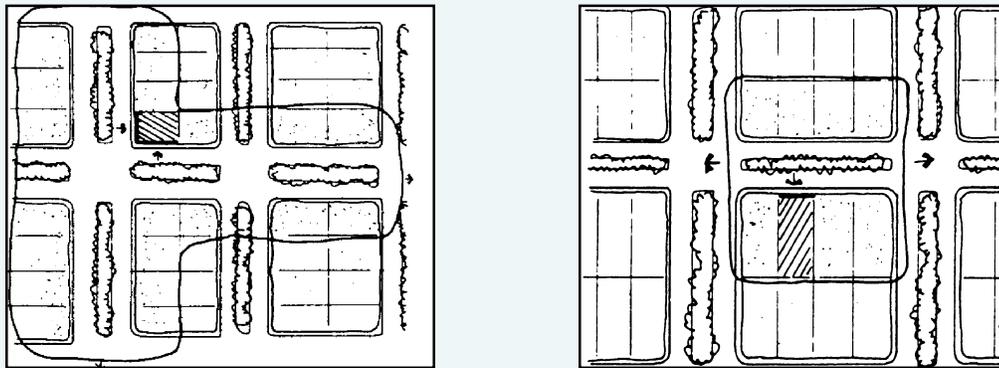


A simple, yet effective solution for a rear fire exit.

5.14 New Commercial Construction

5.14.1 New buildings should match the scale, directional emphasis, setback, and height of historic buildings in their area of influence.

The first step in assessing the impact of new construction is to determine the area of influence that will be affected by the work. The area of influence will be that area which will be visually influenced by the alterations and/or additions. New buildings should follow the established setback of other commercial buildings on the street. The height of new commercial buildings should be no higher, nor any lower than the lowest and highest buildings in the area of influence.



Area of influence: Each site within a historic district will have its own unique area of influence. Shown here are two different examples with suggested minimum areas that might be considered. Neighboring buildings should be examined to determine the consistent patterns of design concepts and architectural elements that are present.

5.14.2 New buildings may be constructed of new materials that are compatible with surrounding historic buildings in the commercial district. Stucco, brick, rusticated stone, and marble are appropriate exterior materials for new commercial construction.

5.14.3 Metal-sided buildings are not appropriate for the historic district.

5.14.4 The shape and pitch of a roof on a new building should be consistent with those buildings in the area of influence.

A flat roof hidden by a front parapet is the predominant roof type in the downtown commercial district, although other types exist. It is generally recommended that new commercial buildings in downtown Milledgeville follow the flat roof precedent established by historic commercial buildings.

5.14.5 New buildings should conform to the floor-to-floor heights of existing structures if there is a dominant pattern within the area of influence.

5.14.6 New buildings should be a product of their time and not attempt to be a reproduction of historic architectural styles or details.

5.14.7 New buildings should echo the dominant rhythms and patterns in their neighborhood. The arrangement of windows and entrances, materials, and orientation to the street are some of the features which should be replicated.

New construction in downtown Milledgeville should be representative of the time in which it was built and not attempt to create a false sense of history. New buildings should be compatible with the historic surroundings by borrowing, but not copying, design characteristics and materials from adjacent buildings and integrating them into a contemporary expression.



This modern hotel does not conform to the rhythm established in the historic commercial district.

5.14.8 Windows with snap-in grid systems are not appropriate in the historic district. Single pane double hung windows and plate glass windows are encouraged.



The snap in grid used in this window does not have the distinctive character that the historic windows for this building would have had.

5.15 Adaptive Reuse

5.15.1 A commercial building in the commercial district being used for residential purposes should follow the commercial design guidelines.

Usually, historic commercial buildings can be easily adapted for residential use. Whatever the use, the building should remain commercial in appearance, thus the commercial design guidelines would apply.

5.15.2 Proposed new uses for commercial buildings should be compatible with the historic property so that minimal changes are necessary.

5.15.3 The arrangement and symmetry of the front facade should be preserved.

Any new use that would require substantial change to a historic commercial building will generally not be approved. Substantial change includes, but is not limited to, the removal of architectural details, the addition or removal of windows or doors, a change in exterior materials (except for the removal of a nonhistoric facade), a change in height, or the addition of balconies or roof top decks that are visible from the public right-of-way. All of these changes would create a false sense of history by changing the appearance of the commercial building. Refer to the rest of Section 5 for guidance on specific rehabilitation issues.



This former transportation resource has been sensitively adapted for commercial use.

